

**PB# 01-23**

**ABC Pizza  
(Addition)**

**19-4-62**

Approved 5/17/01

P.B #01-23  
Approval fee

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

**RECEIPT**  
**#459-2001**

05/17/2001

Botzakis, George  
23 Clintonwood Drive  
New Windsor, NY 12553

Received \$ 100.00 for Planning Board Fees, on 05/17/2001. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green  
Town Clerk

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/22/2001

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
A [Disap, Appr]

FOR PROJECT NUMBER: 1-23

NAME: ABC PIZZA AND RESTAURANT

APPLICANT: BOTAZAKIS, GEORGE

--DATE-- MEETING-PURPOSE-----ACTION-TAKEN-----

05/17/2001 PLANS STAMPED APPROVED

02/28/2001 P.B. APPEARANCE LA:ND WVE PH APP CON  
. ELIMINATE A COUPLE OF PARKING SPACES FOR DELIVERIES - MAKE A  
. GREEN AREA FOR DRAINAGE - ADDRESS MARK'S COMMENTS - SUBMIT  
. COST ESTIMATE

02/07/2001 WORK SHOP APPEARANCE SUBMIT





**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY & NJ)  
MARK J. EDSALL, P.E. (NY NJ & PA)  
JAMES M. FARR, P.E. (NY & PA)

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e-mail: mhny@att.net

**Regional Office**  
507 Broad Street  
Milford, Pennsylvania 18337  
(570) 296-2765  
e-mail: mhpa@ptd.net

**MEMORANDUM**

**9 MAY 2001**

**TO: MYRA MASON, P.B. SECRETARY**

**FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER**

**SUBJECT: ABC PIZZA SITE PLAN (P.B. # 01-23)**

I have reviewed the final plan and believe same is acceptable for stamp of approval.

I have reviewed the site plan cost estimate. It is my opinion that the value submitted is acceptable.

Attached hereto is our time printout such that you can close out the project.

Contact me if you have any questions.

Myr-#01-23-09May01.doc  
ALF

AS OF: 05/10/2001

PAGE: 1

## CHRONOLOGICAL JOB STATUS REPORT

JOB: 57 55

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 1 23

FOR WORK DONE PRIOR TO: 05/10/2001

TASK-NO	REF	--DATE--	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	-----DOLLARS-----			
								TIME	EXP.	BILLED	BALANCE
1 23	17728	02/07/01	TIME	MJE	WS ABC PIZZA AIDN	85.00	0.40	34.00			
1 23	177035	02/28/01	TIME	MJE	MM COND S/P APPL ABC	85.00	0.10	8.50			
1 23	177010	02/28/01	TIME	MJE	MC ABC PIZZA S/P AM	85.00	0.50	42.50			
								85.00			
1 23	180021	02/28/01			3111 01 340 3/27/01					85.00	
										85.00	
1 23	185021	05/09/01	TIME	MJE	MC Plan review/closure	85.00	0.40	34.00			
1 23	185032	05/10/01	TIME	MJE	MC ABC cost est. rev	85.00	0.30	25.50			
1 23	185033	05/10/01	TIME	MJE	MC ABC zero to MM	85.00	0.20	17.00			
					TASK TOTAL			161.50	0.00	-85.00	76.50
					GRAND TOTAL			161.50	0.00	-85.00	76.50

TOTAL P.01

**PREVIOUS  
DOCUMENT  
IN POOR  
ORIGINAL  
CONDITION**

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/17/2001

PAGE: 1

LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2001	2% OF 29,608.50 INSPECT F	CHG	592.17		
05/17/2001	REC. CK. #1351	PAID		592.17	
		TOTAL:	592.17	592.17	0.00

*A. Zappalo*

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/17/2001

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LISTING OF PLANNING BOARD **FEES**  
**APPROVAL**

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2001	APPROVAL FEE	CHG	100.00		
05/17/2001	REC. CK. #1352	PAID		100.00	
			-----	-----	-----
		TOTAL:	100.00	100.00	0.00

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/17/2001

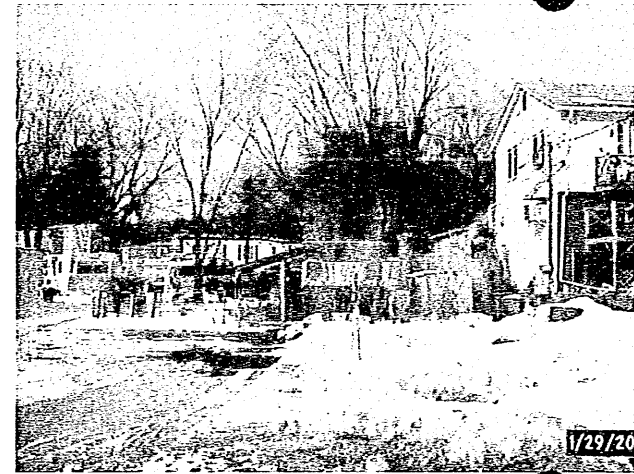
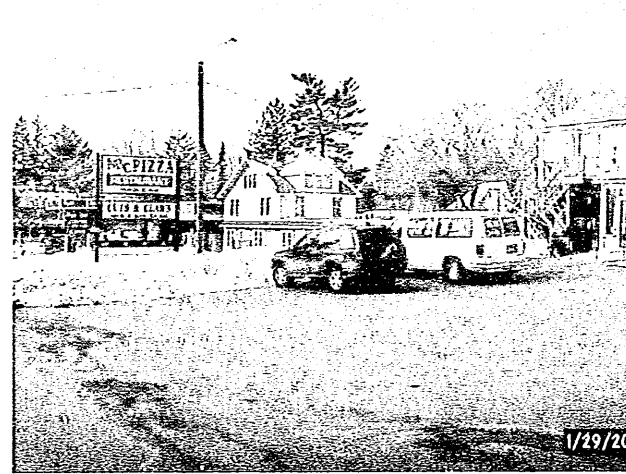
PAGE: 1

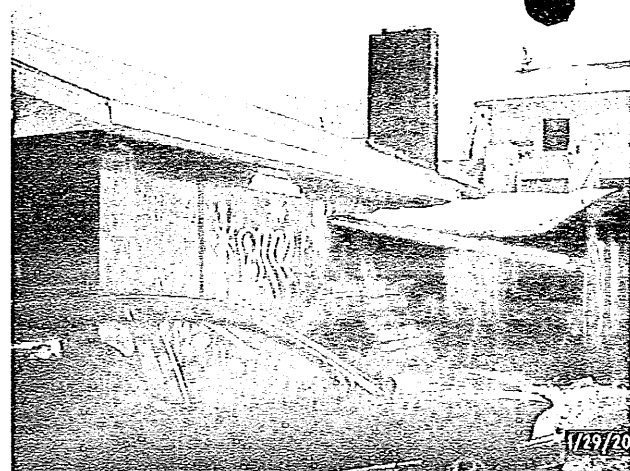
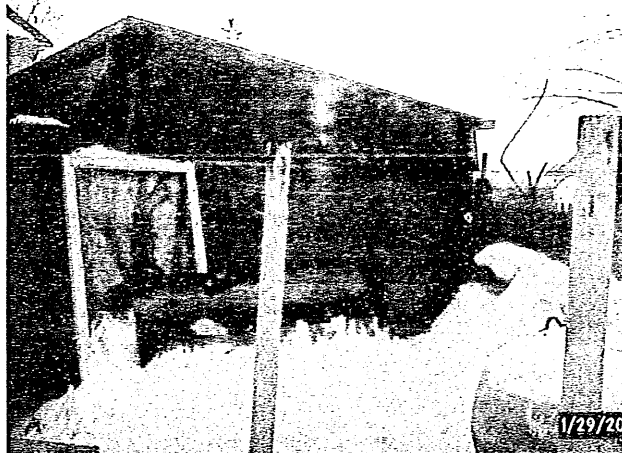
LISTING OF PLANNING BOARD **FEES**  
**ESCROW**

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/15/2001	REC. CK. #1310	PAID		750.00	
02/28/2001	P.B. ATTY FEE	CHG	35.00		
02/28/2001	P.B. MINUTES	CHG	36.00		
05/10/2001	P.B. ENGINEER FEE	CHG	161.50		
05/17/2001	RET. TO APPLICANT	CHG	517.50		
		TOTAL:	750.00	750.00	0.00

L.R. 5/17/01







RESULTS OF P.B. MEETING OF: February 28, 2001

PROJECT: ABC Pizza

P.B.# 01-23

**LEAD AGENCY:**

**NEGATIVE DEC:**

1. ~~AUTHORIZE COORD LETTER~~: Y\_\_ N\_\_

M) L S) K VOTE: A 4 N 0

2. TAKE LEAD AGENCY: Y ☒ N\_\_

CARRIED: YES ☒ NO\_\_

M) B S) L VOTE: A 4 N 0  
CARRIED: YES ☒ NO\_\_

WAIVE PUBLIC HEARING: M) B S) K VOTE: A 4 N 0 WAIVED: Y ☒ N\_\_

SCHEDULE P.H. Y\_\_ N ☒

SEND TO O.C. PLANNING: Y\_\_

SEND TO DEPT. OF TRANSPORTATION: Y\_\_

REFER TO Z.B.A.: M)\_\_ S)\_\_ VOTE: A\_\_ N\_\_

RETURN TO WORK SHOP: YES\_\_ NO\_\_

**APPROVAL:**

M)\_\_ S)\_\_ VOTE: A\_\_ N\_\_ APPROVED:\_\_\_\_\_

M) B S) L VOTE: A 4 N 0 APPROVED CONDITIONALLY: 2-28-01

NEED NEW PLANS: Y\_\_ N\_\_

**DISCUSSION/APPROVAL CONDITIONS:**

Eliminate a couple of parking spaces for deliveries
Make a green area for drainage
Address Mark's Comments
Cost Estimate

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/11/2001

PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**4% FEE**

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2001	2% OF 29,608.50 INSPECT F	CHG	592.17		
			-----	-----	-----
		TOTAL:	592.17	0.00	592.17

*Check #1*

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/11/2001

PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**APPROVAL**

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2001	APPROVAL FEE	CHG	100.00		
			-----	-----	-----
		TOTAL:	100.00	0.00	100.00

*check #2*

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/11/2001

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/15/2001	REC. CK. #1310	PAID		750.00	
02/28/2001	P.B. ATTY FEE	CHG	35.00		
02/28/2001	P.B. MINUTES	CHG	36.00		
05/10/2001	P.B. ENGINEER FEE	CHG	161.50		
			-----	-----	-----
		TOTAL:	232.50	750.00	-517.50

*This amount will  
be returned to the  
applicant.*

ABC Pizza			
Site Work Construction Budget			
Item	Quantity	Unit Price	Total
Site Work:			
◆ Rough grading			\$ 5,000.00
◆ Pavement (includes new and resurfaced areas)	15,739 SF	\$ 1.50	\$ 23,608.50
◆ Landscaping			\$ 1,000.00
Total:			\$ 29,608.50

2% 592.17

Anthony J. Coppola, Architects

4/11/2001

ABC PIZZA AND RESTAURANT (01-23)

Mr. Anthony Coppola appeared before the board for this proposal.

MR. PETRO: Application involves proposed addition of a 35 x 30 addition on the rear of the existing structure. The plan was reviewed on a concept basis only represented by Mr. Coppola.

MR. COPPOLA: Thank you, Mr. Chairman. We have a copy of a site plan that was approved in 1995 and basically, that's kind of the survey and the site plan that we started from. There were some improvements on that plan that were not made in terms of parking and we have kind of taken that plan, updated it so that all the improvements are now shown. Essentially, what you have, there's a two story mixed use building of the largest use on the lower floor is for the ABC Pizza, there's also a beauty parlor on one of the sides here and there's also one apartment upstairs. So it's a mixed use building right now. What our proposal is for is a one story 35 foot by 30 addition in the rear of the pizza, the rear of the restaurant and that's basically going to be used as a kitchen expansion and for storage and kind of clean up the area in the back of the restaurant right now. What we did was we went back to the original site plan and looked at the parking calculation that was required at that time, we basically reiterated the same number of spaces again. I think one of Mark's comments he just wants to see how we calculated that and we can certainly show that. I'm not quite sure that the storage addition requires new parking because the restaurant parking is calculated per occupant per the number of seats so we're not really adding anymore seats, just expanding the kitchen and storage area. But in any event, we have more than enough parking in the rear. I read through some of Mark's comments here, some of them have to do with the orientation of the parking, the access to the storage addition, if we plan to make that for deliveries and we can address some of the comments, maybe make the parking area a little bit, the footprint of the pavement a little bit less than it is right now, less than I'm showing right now. So those are some of his

comments. So it's a pretty straightforward proposal, what we're trying to do, do the addition, bring the parking up to date.

MR. PETRO: I see new paved parking area then pave that area?

MR. COPPOLA: Yes, there's the dotted line there shows basically where the existing parking is and there's no areas that we need to install so that's correct.

MR. PETRO: Paved and striped?

MR. COPPOLA: Yeah.

MR. PETRO: Let's talk a little bit, is that a road over on the other side or was that a crash gate?

MR. ESDALL: That was emergency access and you really didn't, the board didn't want that as a normal traveled way.

MR. PETRO: So it's there for the fire apparatus, if you need it, it's not part of the overall site plan.

MR. BABCOCK: That's a private road, really shouldn't be having access.

MR. EDSALL: The board asked to have it gated and left closed.

MR. COPPOLA: Yes.

MR. PETRO: Mike, maybe you can answer this, the addition on this building obviously is too close to the property line to the south and the reason it's okay it doesn't have to go to zoning board is for what reason?

MR. BABCOCK: He's continuing the line of the building and Jim, one other thing if you were to go around the back of this building right now this 30 by 35 area basically is being used now, there's some, it's a roof over and long before ABC Pizza went in there, these shed type structures and whatever basically this project is just going to clean that whole area up and

put a real roof over it.

MR. COPPOLA: There's a block wall there.

MR. BABCOCK: Yeah, partially, so it's kind of like put together with whatever they had.

MR. LANDER: Can I ask '95 what approvals were given in '95?

MR. BABCOCK: They changed it to the ABC Restaurant, it was Handyman Plumbing Supply.

MR. COPPOLA: That's right, it's a change of use, that's where they showed the parking, but we can reduce that footprint a little bit.

MR. BABCOCK: Also, me and Mark talking about this, the storage area addition we were not quite sure that he needs a full six spaces for that, so a couple of the spaces if he had to lose those for delivery, it wouldn't, that would just clean the plan up.

MR. EDSALL: Since the storage is really part of the restaurant and the restaurant is based on seating, even if you add it, added a larger kitchen and add storage, it doesn't increase the number of parking spaces, so they could lose those if they want to.

MR. COPPOLA: I think that brings us down to 40, what we're required to have is 34 for restaurant, four for the beauty parlor, two for the residential and I'm showing 47, so we can definitely reduce the, lose some of these and reduce the footprint a little bit.

MR. BABCOCK: See where the number 5 is, Anthony, if the parking lot, if a delivery truck backed up, the car was parked, you wouldn't be able to have the delivery.

MR. COPPOLA: That's a good suggestion, we can fix that.

MR. EDSALL: The only other paving suggestion that's worth discussing is if the parking lot to the north over toward that gated area has not been fully



constructed, the nine spaces could be shifted to toward the back, then you could have a little bit of a grass area between the paved parking lot and the neighbor because right now, it's pavement from edge to edge and I have a little concern about drainage and there's really no need to have a 61 foot aisle between the two and it's just going to create more expense to put all the pavement in, so they could save a little money and have a little less pavement, little less impact.

MR. LANDER: Where is the drainage going to go?

MR. EDSALL: All sheet flow through there.

MR. LANDER: To go where, where does it end up, 94?

MR. EDSALL: There's no collection, so the point being if we can have it sheet flow into a grassed area, it will slow it down.

MR. COPPOLA: Maybe bring as much green area on the edge as possible.

MR. EDSALL: It will save some money on construction.

MR. COPPOLA: It does go down slightly, but it's relatively flat over there.

MR. LANDER: It's a little close on grade to get the water to 94.

MR. COPPOLA: Yeah.

MR. PETRO: Motion for lead agency?

MR. BRESNAN: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency for the ABC Pizza. Any further comments? If not, roll call.

ROLL CALL

MR. BRESNAN                    AYE  
MR. LANDER                    AYE  
MR. KARNAVEZOS                AYE  
MR. PETRO                    AYE

MR. PETRO: We have fire approval on 2/16/2001 and highway approval and 2/20/01. This plan doesn't change, it's an existing curb cut.

MR. COPPOLA: Nothing in the front, no, parking in the front remains exactly the same.

MR. PETRO: Planning board should determine for the record if public hearing will be required for this site plan per its discretionary judgment.

MR. LANDER: Is this addition under 30 percent of the first floor?

MR. COPPOLA: Yeah, it's less than 25 percent cause the first floor is 4,400 so this would be roughly 1,000 square feet.

MR. LANDER: 25 percent.

MR. BABCOCK: Again, this area is all storage as we are right now today, that is what he uses it for, it's going to make this project, going to clean it up and make it a lot better for everybody.

MR. PETRO: I think there's a roof back there, it covers part of it, so you're basically filling it in.

MR. EDSALL: There's like a shed back there now, they brought some photos to the workshop.

MR. BABCOCK: He has some photos, Jim.

MR. LANDER: Let's take a look at the photos, then we can decide.

MR. BRESNAN: Motion to waive the public hearing.

MR. KARNAVEZOS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment for the ABC Pizza site plan amendment. Are there any further questions from the board members? If not, roll call.

ROLL CALL

MR. BRESNAN	AYE
MR. LANDER	AYE
MR. KARNAVEZOS	AYE
MR. PETRO	AYE

MR. PETRO: Motion for negative dec?

MR. LANDER: So moved.

MR. KARNAVEZOS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec under the SEQRA process for the ABC Pizza and Restaurant amended site plan. Is there any further discussion? If not, roll call.

ROLL CALL

MR. BRESNAN	AYE
MR. LANDER	AYE
MR. KARNAVEZOS	AYE
MR. PETRO	AYE

MR. PETRO: This is very straightforward, I think, I don't see any major hangups, I don't know if you want to make it subject to, he's going to do some major changing to the parking configuration, Mark, removing some spaces behind this addition and bringing that 61 foot down to 50 feet certainly would change the way this plan looks now. Do you feel that's something he can do and cover your other comments with a subject-to?

MR. EDSALL: I think very easily, it's a straightforward application, if you care to just have the application acknowledged that they're going to look

at the parking, as long as they comply on the plan they submit, fine, but we'll give them the leeway to do what's best for them.

MR. PETRO: What you're saying if they don't want to make any changes and want to leave it as is, that's also their prerogative.

MR. EDSALL: It works but I suggest you make them shift the nine spaces so you have some buffer between.

MR. COPPOLA: We're definitely going to do it.

MR. PETRO: Save him a lot of money for paving and get some of the water to go in the grassy area, be really no reason not to do it, you're not gaining anything by having, I don't know, 50 foot backout.

MR. COPPOLA: No, to be honest with you, we just kind of did that.

MR. BABCOCK: That's the way it was.

MR. COPPOLA: With the other plan but--

MR. PETRO: I would remove a couple spots like Mike said because if you have somebody park in there and you have a delivery, it's going to be a problem.

MR. COPPOLA: Sure.

MR. PETRO: You don't need the space so that's the subject to. What other ones do we have here?

MR. EDSALL: My only comment was a suggestion to be very careful when you construct the parking lot, especially the new area with only three inches of pavement, having six inches of bank run as I'm sure some of the board members know, the bank run isn't always the best, so just get a good base.

MR. COPPOLA: We'll put that into the detail.

MR. EDSALL: I'm not saying you have to change it, just be careful so it holds up.

MR. LANDER: Make it perform.

MR. PETRO: Motion for final approval on--I can do the subject-to.

MR. BRESNAN: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the ABC Pizza and Restaurant on Quassaick Avenue subject to the plan being shown to Mark and reconfigured to show the new parking style that they're going to come up with, the site plan bond being in place, other than that, that's it, how about the site lighting, it's already lit, it's lit the way it was, I have been there myself, not too often, you yelled at me before, but I do go there and I can see my way around so I can see. Is there any further comments?

ROLL CALL

MR. BRESNAN	AYE
MR. LANDER	AYE
MR. KARNAVEZOS	AYE
MR. PETRO	AYE



**McGOEY, HAUSER and EDSALL**  
**CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY  
and PENNSYLVANIA

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(845) 567-3100  
e-mail: mheny@att.net

□ **Regional Office**  
507 Broad Street  
Milford, Pennsylvania 18337  
(570) 296-2765  
e-mail: mhempa@ptd.net

**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**PROJECT NAME:** ABC PIZZA SITE PLAN AMENDMENT  
**PROJECT LOCATION:** QUASSAICK AVENUE (NYS RT. 94)  
SECTION 19 – BLOCK 4 – LOT 62  
**PROJECT NUMBER:** 01-23  
**DATE:** 28 FEBRUARY 2001  
**DESCRIPTION:** THIS APPLICATION INVOLVES THE PROPOSED ADDITION OF A  
35' X 30' ADDITION ON THE REAR OF THE EXISTING  
STRUCTURE. THE PLAN WAS REVIEWED ON A CONCEPT  
BASIS.

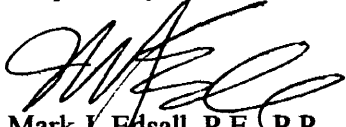
1. The property is located in the NC Zoning District of the Town. The Bulk Table on the plan is correct for the zone and use group, with the exception that the "Total Side Yard" value of 35' must be indicated. The "required" bulk information appears correct, and the site meets the zone requirements, with the exception of the pre-existing non-conforming conditions noted.

The plan bulk table includes the parking requirements data. A parking calculation is provided on the left of the plan. Note the following corrections needed:

- a. The calculation must indicate the basis for the number of spaces for each use.
  - b. The total on the bulk table must equal the value in the calculation.
2. I have reviewed the site plan and have the following initial comments:
    - a. The addition is noted as a storage use. If deliveries are intended for the addition, access is obstructed by the parking.
    - b. The parking lot pavement structure appears light if trucks will access the area. If only for cars, it may be adequate.

- c. If the parking lot on the north side has not yet been constructed it could be modified since it is shown immediately against the property line, with a 61' wasted area between the back of the spaces. The aisle could be reduced, with a greater perimeter buffer constructed, and less pavement installed.
- 3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
- 4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
- 5. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 48-19.C of the Town Zoning Local Law.
- 6. The Planning Board should require that a bond estimate be submitted for this Site Plan (Subdivision) in accordance with Chapter 19 of the Town Code.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/st  
NW01-23-28Feb

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/28/2001

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 1-23

NAME: ABC PIZZA AND RESTAURANT

APPLICANT: BOTAZAKIS, GEORGE

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	02/15/2001	MUNICIPAL HIGHWAY	02/20/2001	APPROVED
ORIG	02/15/2001	MUNICIPAL WATER	02/20/2001	APPROVED
ORIG	02/15/2001	MUNICIPAL SEWER	/ /	
ORIG	02/15/2001	MUNICIPAL FIRE	02/16/2001	APPROVED
ORIG	02/15/2001	NYS DOT	/ /	



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/28/2001

PAGE:

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Wit  
O [Disap, Af

FOR PROJECT NUMBER: 1-23

NAME: ABC PIZZA AND RESTAURANT

APPLICANT: BOTAZAKIS, GEORGE

--DATE-- MEETING-PURPOSE-----ACTION-TAKEN-----

02/07/2001 WORK SHOP APPEARANCE SUBMIT

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/28/2001

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/15/2001	EAF SUBMITTED	02/15/2001	WITH APPLIC
ORIG	02/15/2001	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	02/15/2001	LEAD AGENCY DECLARED	/ /	
ORIG	02/15/2001	DECLARATION (POS/NEG)	/ /	
ORIG	02/15/2001	SCHEDULE PUBLIC HEARING	/ /	
ORIG	02/15/2001	PUBLIC HEARING HELD	/ /	
ORIG	02/15/2001	WAIVE PUBLIC HEARING	/ /	
ORIG	02/15/2001	AGRICULTURAL NOTICES	/ /	
ORIG	02/15/2001	BUILDING DEPT REFER NUMBER	/ /	

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

**RECEIPT**  
**#128-2001**

Botzakis, George #01-23 Application Fee

02/16/2001

Received \$ 100.00 for Planning Board Fees, on 02/16/2001. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green  
Town Clerk

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/16/2001

PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**ESCROW**

FOR PROJECT NUMBER: 1-23  
NAME: ABC PIZZA AND RESTAURANT  
APPLICANT: BOTAZAKIS, GEORGE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/15/2001	REC. CK. #1310	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00



PA #01-23 ESCROW

<b>GEORGE BOTZAKIS</b> 562-2060 23 CLINTONWOOD DR. NEW WINDSOR, NY 12553		50-235623 219 0232111591 DATE <u>2-06-01</u>	1310
PAY TO THE ORDER OF	<u>Town of New Windsor</u>		\$ <u>750.00</u>
		<u>seven hundred, fifty 00/100</u>	DOLLARS
<b>THE BANK OF NEW YORK</b> 353 Windsor Highway New Windsor, NY 12553		<u>George Botzakis</u>	
MEMO			
⑆021902352⑆ ⑆0232111591⑆ 1310			

PA #01-23 Application Fee

<b>GEORGE BOTZAKIS</b> 562-2060 23 CLINTONWOOD DR. NEW WINDSOR, NY 12553		50-235623 219 0232111591 DATE <u>2-06-01</u>	1309
PAY TO THE ORDER OF	<u>Town of New Windsor</u>		\$ <u>100.00</u>
		<u>one hundred - 00/100</u>	DOLLARS
<b>THE BANK OF NEW YORK</b> 353 Windsor Highway New Windsor, NY 12553		<u>George Botzakis</u>	
MEMO			
⑆021902352⑆ ⑆0232111591⑆ 1309			



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, ~~HIGHWAY~~

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER:

**01-23**

DATE PLAN RECEIVED: \_\_\_\_\_

RECEIVED

FEB 15 2001

RECEIVED

FEB 16 2001

N.W. HIGHWAY DEPT.

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision \_\_\_\_\_ as submitted by \_\_\_\_\_  
\_\_\_\_\_ for the building or subdivision of \_\_\_\_\_  
\_\_\_\_\_ has been  
reviewed by me and is approved ☒ \_\_\_\_\_,  
disapproved ☐ \_\_\_\_\_.

If disapproved, please list reason \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Henry Hull* 2/20/01  
HIGHWAY SUPERINTENDENT DATE

\_\_\_\_\_  
WATER SUPERINTENDENT DATE

\_\_\_\_\_  
SANITARY SUPERINTENDENT DATE



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., ~~WATER~~, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 01-23

DATE PLAN RECEIVED: \_\_\_\_\_ RECEIVED  
FEB 15 2001

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

ABC Pizza has been

reviewed by me and is approved ✓

~~disapproved~~ \_\_\_\_\_

~~If disapproved, please list reason~~ \_\_\_\_\_

This property is served by Town water -  
Notify water dept. for any questions

HIGHWAY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

Steve Di Dio - 2-20-01  
WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

SANITARY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

**INTER-OFFICE CORRESPONDENCE**

**TO: Town Planning Board**

**FROM: Town Fire Inspector**

**DATE: February 16, 2001**

**SUBJECT: ABC Pizza and Restaurant**

Planning Board Reference Number: PB-01-23


Dated: 15 February 2001

Fire Prevention Reference Number: FPS-01-010

A review of the above referenced site plan was conducted on 16 February 2001.

This site plan is acceptable.

Plans dated: 2 February 2001

A handwritten signature in black ink, appearing to read 'R. Rodgers', is positioned above the printed name.

**Robert F. Rodgers**  
**Fire Inspector**





McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

- ☐ Main Office  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640
- ☐ Branch Office  
507 Broad Street  
Milford, Pennsylvania 18337  
(717) 296-2765

PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

01<sup>43</sup>-23

TOWN/VILLAGE OF

NW

P/B #

WORK SESSION DATE:

7 Feb 2001

APPLICANT RESUB.  
REQUIRED:

REAPPEARANCE AT W/S REQUESTED:

PROJECT NAME:

ABC Pizz 5/1 Am.

PROJECT STATUS: NEW ☒ OLD

REPRESENTATIVE PRESENT:

Anthony C.

MUNIC REPS PRESENT: BLDG INSP.

FIRE INSP.

ENGINEER

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- Adding 31 x 30 storage

- need to finish s/p from orig approval

Stamp  
9/6/95

pass 2/28 Agenda

CLOSING STATUS

Set for agenda

possible agenda item

Discussion item for agenda

ZBA referral on agenda

Approval Box ☺

pbwsform 10MJE98

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553  
Telephone: (914) 563-4615  
Fax: (914) 563-4693

## PLANNING BOARD APPLICATION

### TYPE OF APPLICATION (check appropriate item):

Subdivision \_\_\_\_\_ Lot Line Change \_\_\_\_\_ Site Plan \_\_\_\_\_ Special Permit \_\_\_\_\_

Tax Map Designation: Sec. 19 Block 4 Lot 62

**BUILDING DEPARTMENT REFERRAL NUMBER** 2001 - 0036

1. Name of Project ABC Pizza and Restaurant
2. Owner of Record George Botazakis Phone 562-2060  
Address: 23 Clintonwood Dr., New Windsor, New York 12553  
(Street Name & Number) (Post Office) (State) (Zip)
3. Name of Applicant George Botazakis Phone 562-2060  
Address: 23 Clintonwood Dr. New Windsor, New York 12553  
(Street Name & Number) (Post Office) (State) (Zip)
4. Person Preparing Plan Anthony J. Coppola Phone 561-3559  
Address: 375 Third Street, Newburgh, New York 12550  
(Street Name & Number) (Post Office) (State) (Zip)
5. Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
Address \_\_\_\_\_  
(Street Name & Number) (Post Office) (State) (Zip)
6. Person to be notified to appear at Planning Board meeting:  
Anthony Coppola 561-3559  
(Name) (Phone)
7. Project Location: On the North East side of Quasaick Ave. 1000 feet  
north (Direction) Union Ave (Street) (No.)  
of \_\_\_\_\_  
(Direction) (Street)
8. Project Data: Acreage \_\_\_\_\_ Zone \_\_\_\_\_ School Dist. Newburgh

PAGE 1 OF 2

( PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED )

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FEB 15 2001

01-28

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes \_\_\_\_\_ No X

\*This information can be verified in the Assessor's Office.

\*If you answer yes to question 9, please complete the attached Agricultural Data Statement.

10. Description of Project: (Use, Size, Number of Lots, etc.) \_\_\_\_\_  
Addition 35'0" x 30'0" on story storage addition. \_\_\_\_\_

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes \_\_\_\_\_ no X

12. Has a Special Permit previously been granted for this property? yes \_\_\_\_\_ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

07 DAY OF February 192001

*Valencia Joy Davis*  
NOTARY PUBLIC

*George Botzakis*  
APPLICANT'S SIGNATURE

*George Botzakis*  
Please Print Applicant's Name as Signed

\*\*\*\*\*

TOWN USE ONLY  
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FEB 15 2001  
DATE APPLICATION RECEIVED

01-23  
APPLICATION NUMBER

PAGE 2 OF 2

VALENCIA JOY DAVIS  
Notary Public, State of New York  
Residing in County of Orange  
No. 01DA8050141  
Commission Expires October 30, 02

01-23

PROJECT I.D. NUMBER

617.21

SEQR

## Appendix C

State Environmental Quality Review

**SHORT ENVIRONMENTAL ASSESSMENT FORM**

For UNLISTED ACTIONS Only

**PART I—PROJECT INFORMATION** (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR	2. PROJECT NAME ABC Pizza and Restuarant
3. PROJECT LOCATION: Municipality <b>New Windsor</b> County <b>Orange</b>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <b>198 Quassaick Ave, New Windsor NY</b> <b>North East of Quassaick Ave 1000 of Union Ave.</b>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <b>35'0" x 30'0" one story addition for storage.</b>	
7. AMOUNT OF LAND AFFECTED: Initially _____ acres Ultimately _____ acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: _____ Date: _____	
Signature: <i>Scott R. Davis</i>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

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01-23

**PART II--ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

<b>A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12?</b> If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.67</b> If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING:</b> (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:  N/A	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:  N/A	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:  N/A	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:  N/A	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:  N/A	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:  N/A	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:  N/A	
<b>D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, explain briefly	

**PART III--DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (If different from responsible officer)

\_\_\_\_\_  
Date

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FEB 15 2001

01-23



# Site Plan Notes:

- The proposed building addition is for a 35'-0" x 30'-0" one story Storage Addition for "ABC Pizza and Restaurant". The total new square feet is 1050. The proposed addition will not be sprinklered.
- The project applicant is George Botzakis, 23 Clintonwood Drive, New Windsor, New York.
- Boundary and Topographical information from a site plan by Jay Klein, Architect, dated 2/1/1995.

## Parking Calculation

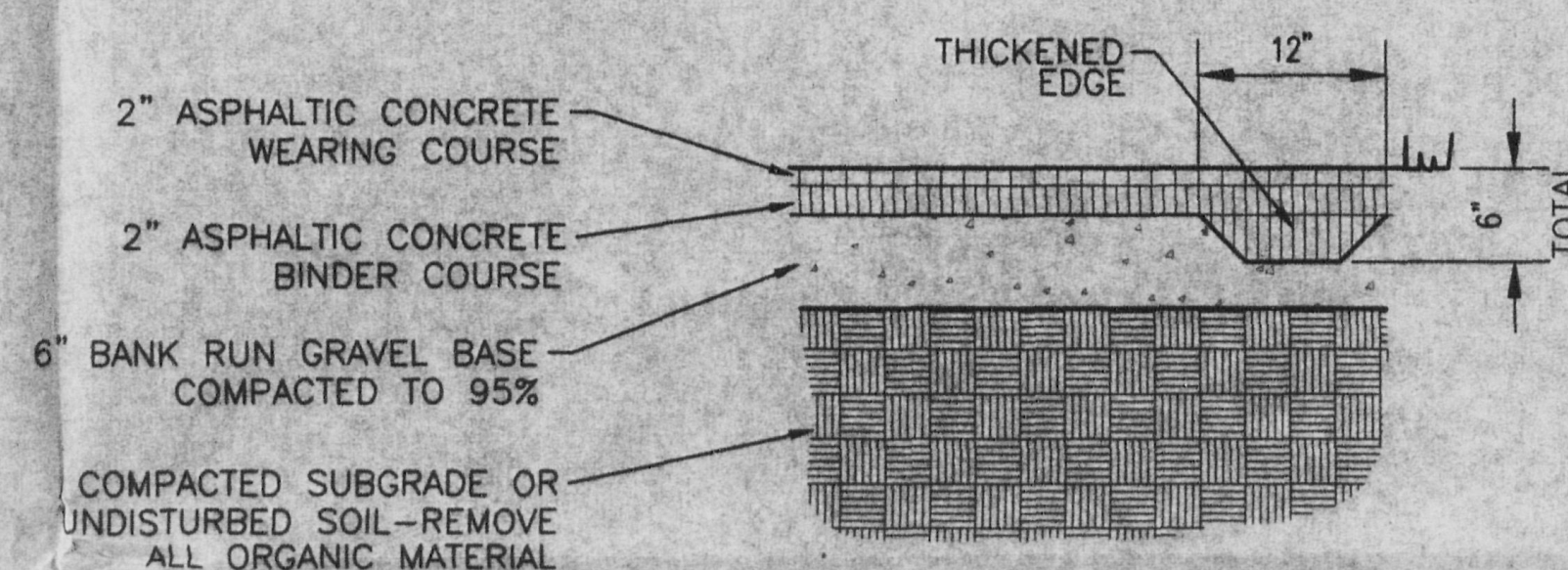
Building Area	Number of Spaces
ABC Pizza - 102 occupants (calculated at 1 space per 3 seats)	34
Beauty Parlor - 600 SF (calculated at 1 space per 150 SF)	4
Residential - (calculated at 2 spaces per dwelling unit)	2
New Storage Addition - 1050 SF (parking not required because it is included in 34 spaces above)	0
<b>Total</b>	<b>40</b>

## GENERAL NOTES

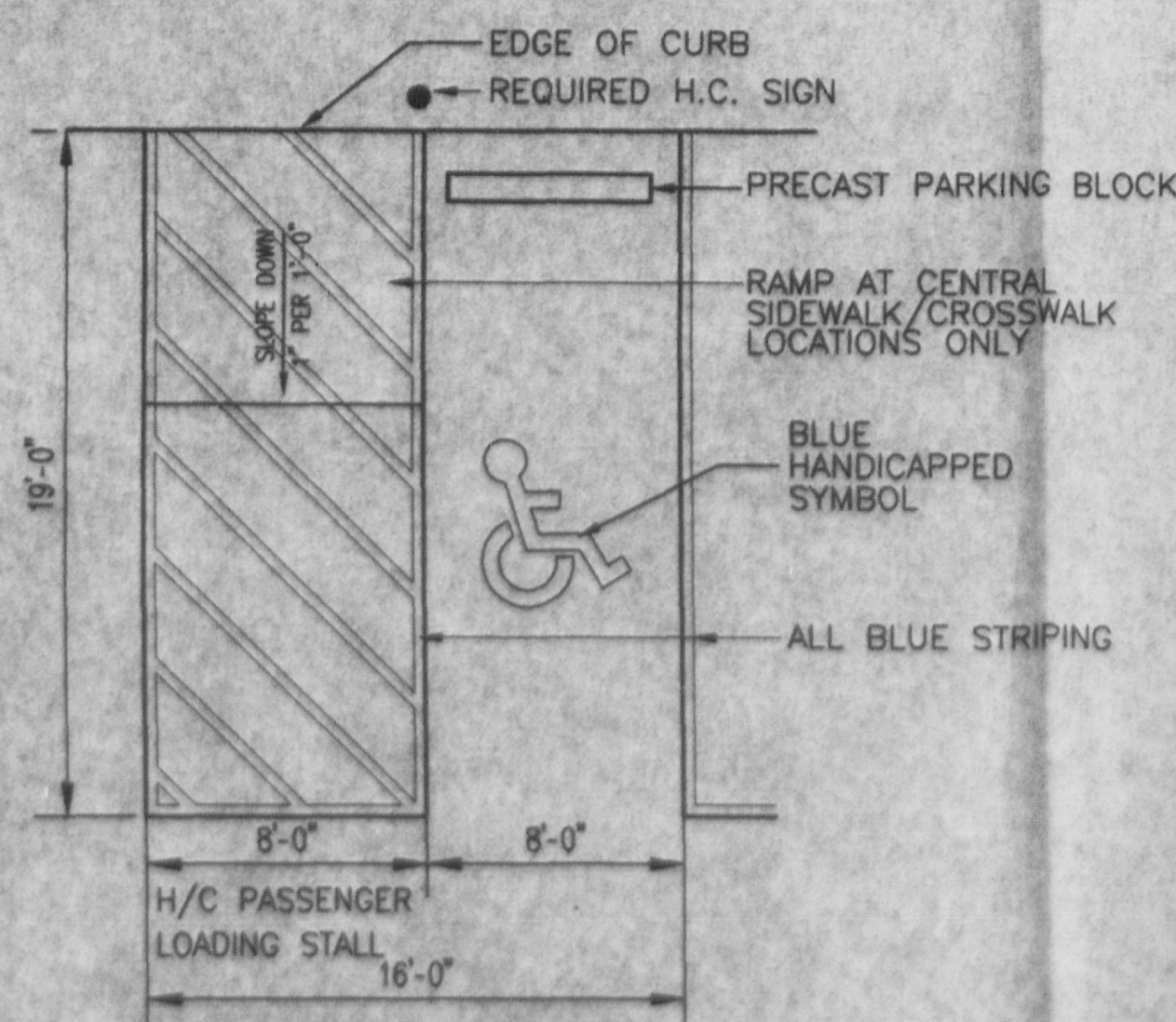
- The Contractor is expected to familiarize himself with the existing site before starting work. All dimensions shall be verified in the field before starting work. No drawings are to be scaled, use only dimensions given. Any other discrepancies shall be brought to the immediate attention of the Architect. Any existing structural deficiency uncovered during the course of construction shall be brought to the immediate attention of the Architect.
- All work shall be done by people skilled in their trades and shall conform to the N.Y. S. Uniform Building Code, and any other applicable state and local codes. All items shall be installed in strict conformance with the Manufacturer's requirements where applicable. Unauthorized alteration of any drawings bearing a registered Architect's seal is a violation of the N.Y. S. Education Law. The Contractor is responsible to obtain any required construction permits before starting work, and to schedule any required inspections with the building department.
- The contractor must notify The Underground Facilities Protective Organization (1-800-962-7962) at least two full working days prior to any excavation. Non-member utilities must be contacted separately.
- The contractor must determine the exact location, elevation and size of any existing underground utility before beginning construction. The contractor shall perform exploration excavations to locate existing underground utilities sufficient ahead of construction to permit making revisions as needed. The locations (horizontal and vertical) and size of underground utilities shall not be relied on as being exact or complete.
- Coordination: Coordinate scheduling, submittals, and Work of the various Sections of specifications to assure efficient and orderly sequence of installation of interdependent construction elements.
- The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures for coordinating all portions of the Work under the Contract unless Contract Documents and other specific information concerning these matters.
- Unless otherwise provided in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment, machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and whether or incorporated or to be incorporated in the Work.
- The Contractor shall pay for all building permits and other fees necessary for the completion of the Work.
- The Contractor shall comply with and give all notices as required by laws, ordinances, rules, regulations, and orders of public authorities bearing on performance to Work. The Contractor shall promptly notify the Architect Owner if the Drawings and Specifications are observed by the Contractor to be at variance within.
- All layout and surveying work necessary to complete the scope or work shall be the responsibility of the contractor.



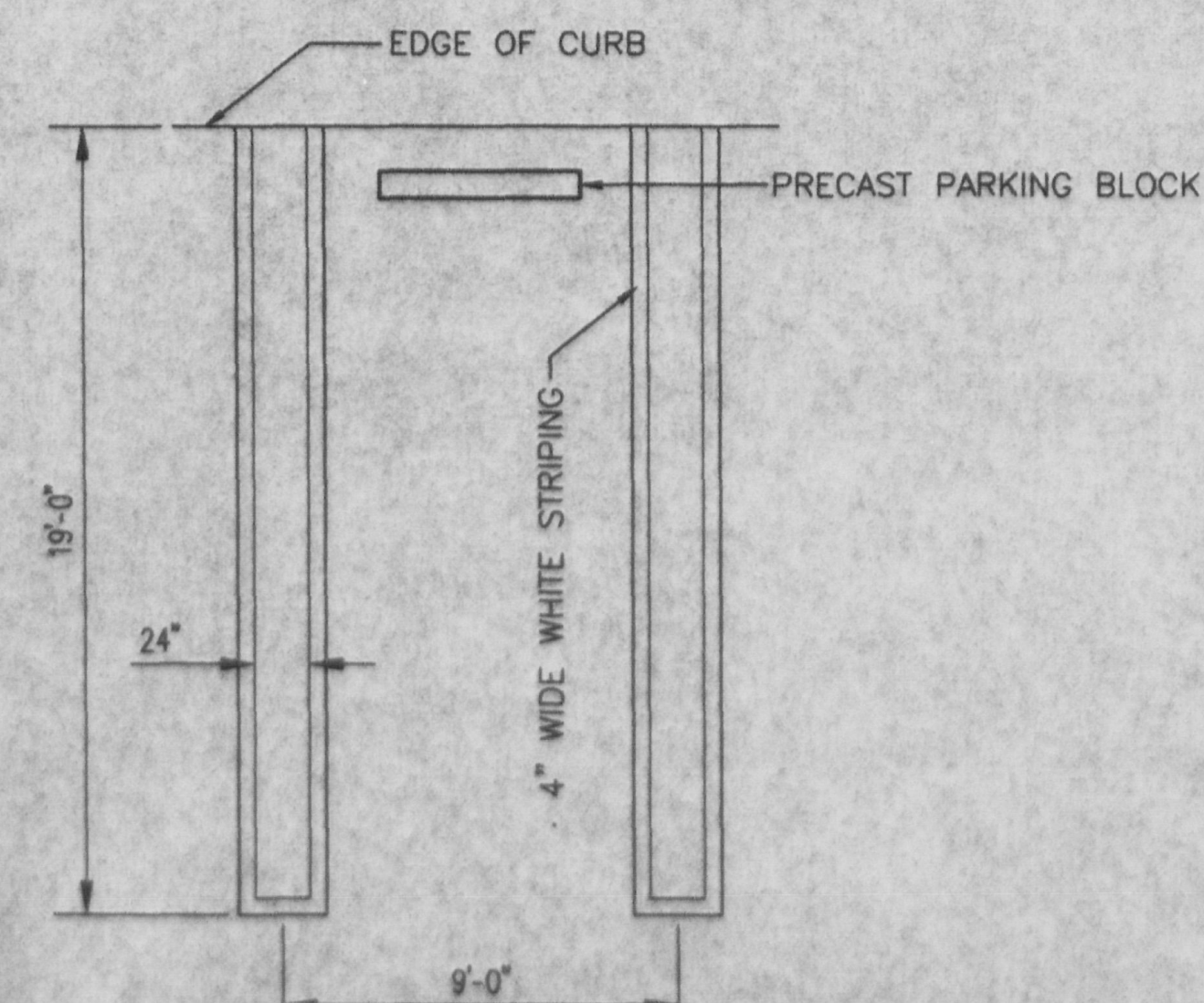
1 Location Map  
SP1 NTS



2 Edge of Pavement Detail  
SP1 NTS



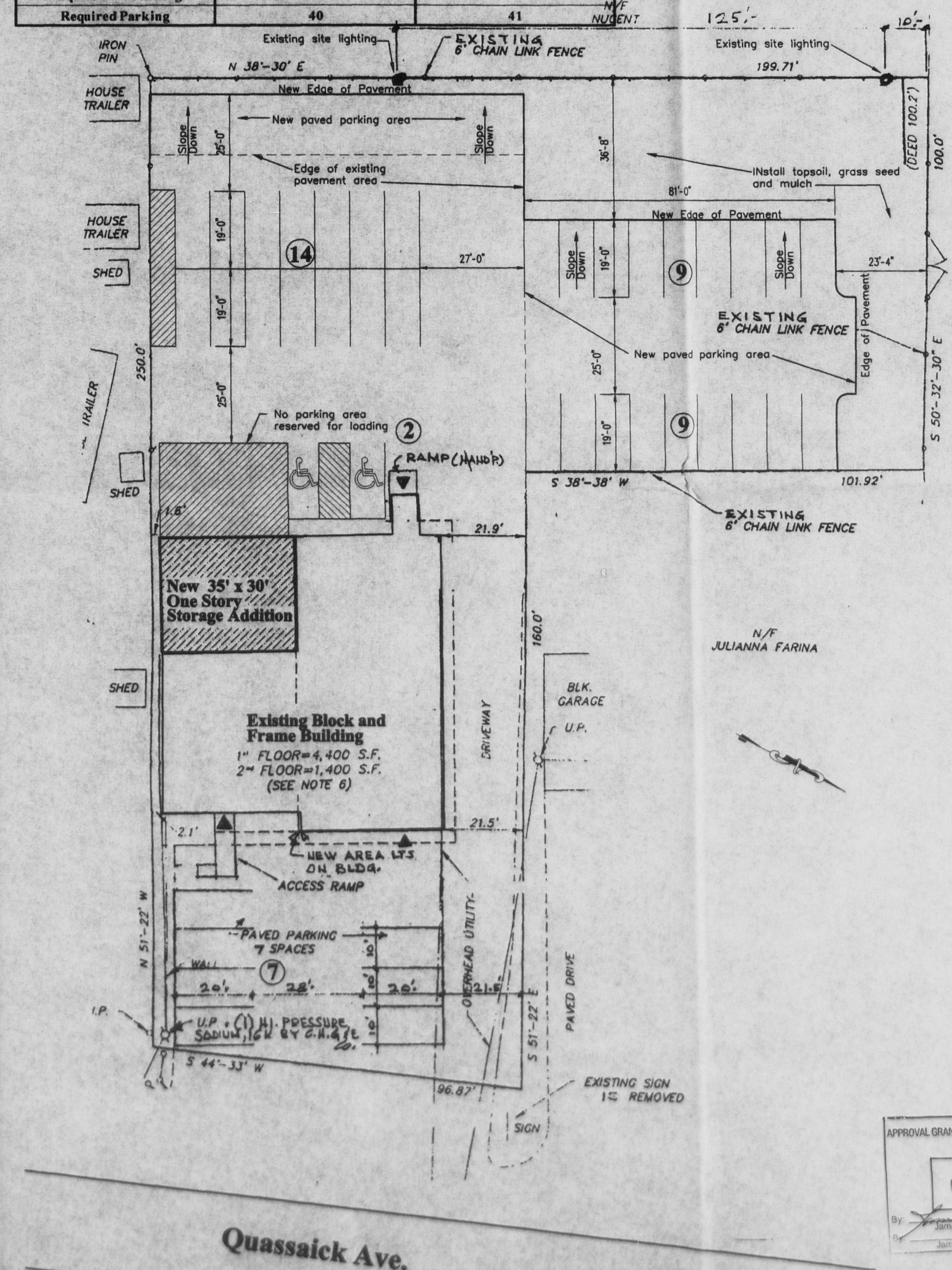
3 HC Space Detail  
SP3 Scale: 1-1/2"=1'-0"



4 Typical Parking Space  
SP3 NTS

## Bulk Table Requirements for NC Neighborhood Commercial Zoning District

Requirements	Required	Actual
Minimum Lot Size	10,000 s.f.	34,217.70
Lot Width	100 feet	95'-0" pre-existing
Front Yard Setback	40 feet	63'-2"
Rear Yard Setback	15 feet	106 feet
Side Yard Setback	15'-0"	1.6' pre-existing
Total Yard Setback	35'-0"	23.5' pre-existing
Max. Building Height	35'-0"	Less Than 30'-0"
Required Street Frontage	NA	NA
Floor Area Ratio	1	0.20
Development Coverage	NA	NA
Parking Space Size	9'-0"x19'-0"	9'-0"x19'-0"
Required HC Parking	2	2
Required Parking	40	41



1 Site Plan  
SP1 Scale: 1"=20'-0"

**Anthony J. Coppola**  
Design, Architecture and Planning  
375 Third St., Newburgh, N.Y. 12550  
Tel: 914-561-3559  
Fax: 914-561-2051



Proposed Site Plan for  
**ABC Pizza**  
New Windsor, New York

Revisions  
Drawn By: MS  
Date: 4/11/01  
AS NOTED  
PROJECT NUMBER: 01-06

Sheet No.

**SP1**

SITE PLAN